



Cyngor Tref y Trallwng | Welshpool Town Council

Welshpool Town Council, Tourist Information Centre, The Vicarage Gardens, Welshpool, SY21 7DD
Tel: 01938 553142 Email: town.clerk@welshpooltowncouncil.gov.uk

Agenda & Summons Planning Committee - 14/05/2025 6:30pm

8th May 2025

To: Councillor(s) Dr Ben Gwalchmai, Billy Spencer, Chris Davies, Nick Howells, Phil Owen, Sally Fitzgerald (Chair), Revd William Rowell

Dear Councillor,

You are hereby summoned to attend a meeting of the Planning Committee of Welshpool Town Council which will be held on Wednesday 14th May 2025 in the Council Chamber, Welshpool Town Hall at 6:30pm to transact the business outlined below.

Yours sincerely,

Richard T Williams LLB (Hons)
Town Clerk & Proper Officer

In accordance with the Local Government and Elections (Wales) Act 2021, this meeting is available to view by remote means. Please visit <https://us02web.zoom.us/j/87048918412?pwd=Fn93nGY45TROdpWcp8vypF9hKpA2Qd.1> to join online or use Zoom Meeting ID 870 4891 8412 and passcode 166195, or via telephone by ringing +44 330 088 5830 United Kingdom.

Agenda

1. WELCOME AND APOLOGIES FOR ABSENCE

The Chair will welcome Councillors and members of the public and will receive, and if desired, resolve to approve, any apologies for absence.

2. DECLARATIONS OF INTERESTS AND DISPENSATIONS

To receive and resolve if desired, declarations of interest and relevant dispensations. [Part III, Local Government Act 2000]

[Appendix A]

3. PUBLIC PARTICIPATION

To receive members of the public who wish to address the meeting, in respect of any item of business included in the agenda. No resolutions may be made under this item and should relate only to matters of Council policy or practice, and not individual affairs or the questioner or any other named person. [Para. 27A, Sch 12, Local Government Act 1972]

4. MINUTES

To approve and sign as a correct record, the minutes from the meeting of the Planning Committee on the 9th April 2025.

[Appendix B]

5. PLANNING

To consider responses to the below planning applications. [Town and Country Planning (Development Management Procedure) (Wales) Order 2012]

5.1. 25/0575/FUL

Construction of an agricultural building (Retrospective)
Wernllwyd Berriew Welshpool SY21 8AA - Castle Ward

[Appendix C]

5.2. 25/0593/FUL

To install x 4 EV charging stations and associated works which include underground cabling
Powis Castle Estate Red Lane Powis Castle Welshpool SY21 8RF - Castle Ward

[Appendix D]

5.3. 25/0594/LBC

To install x 4 EV charging stations and associated works, which include underground cabling
Powis Castle Estate Red Lane Powis Castle Welshpool SY21 8RF - Castle Ward
(See Appendix E)

5.4. 25/0623/REM

Section 73 application in relation to 23/0628/REM to vary condition 2 (approved plan/design proposals)
Plas Newydd Windmill Lane Trelydan Welshpool SY21 9HZ - Llanerchydol Ward

[Appendix E]

5.5. 25/0621/ADV

Display of non-illuminated and illuminated signage
Land At Lime Kiln Cottage Buttington Welshpool Powys SY21 9JP - Gungrog Ward

[Appendix F]

5.6. 25/0608/FUL

Erection of agricultural storage shed (part retrospective)
Godor Cottage Cloddiau Welshpool SY21 9JE - Llanerchydol Ward

[Appendix G]

6. PLANNING DECISIONS

To note the planning decisions made since the last meeting.

[Appendix H]

7. STREET NAMING - BUTTINGTON DEVELOPMENT

To consider a request for registration of development name at Unit 1 & 2 Development Land Adjacent To Moors Farm, Rhallt Lane, Buttington, Welshpool, Powys.

8. DATE OF NEXT MEETING

To note that the date of the next meeting of Planning Committee will be subject to the Annual Meeting.

Appendix A



Cyngor Tref y Trallwng | Welshpool Town Council Declaration of Interests Flowchart

What matters are being discussed at the meeting?

Do any relate to my interests?

- A** Does it affect my entries in the Register of Interests?
- OR**
- B** Does it affect the well being or financial position of me, my partner, my relatives or my friends or my, my partner's, my relatives' or my friends':
- jobs, employers or businesses;
 - companies in which I or they are a director or where I or they have a shareholding of more than £5,000 (nominal/face value);
 - business partnerships; and
 - the following organisations where I or they hold a position of general control or management:
 - other bodies where I or they represent the authority;
 - other public authorities;
 - companies, industrial and provident societies and charitable bodies;
 - bodies whose main purpose is to influence public opinion or policy; and
 - trade unions or professional associations

More than other people in the authority's area?

NO

YES

**Disclose the
existence & nature
of your interest**

You may have a
personal interest in
the matter

Would a member of the public – If he or she knew all the facts – reasonably think that personal interest was so significant that my decision on the matter would be affected by it?

NO

**You can
participate in
the meeting
and vote**

YES

You may have a
prejudicial interest

This matter relates to:

- another authority of which I am a member;
- another public authority in which I hold a position of general control or management;
- other bodies where I represent the authority;
- statutory sick pay where I am in receipt of, or are entitled to, such pay from my authority; or
- allowances or payments made under sections 141-160 of the Local Government (Wales) Measure 2011

NO

**Also, withdraw from
the meeting by
leaving the room or
chamber. Do not try
to improperly
influence the decision**

**And, considering whether or not it is
appropriate I participate in the decision
making, do I regard myself as not
having a prejudicial interest?**

YES

LOCAL GOVERNMENT ACT 2000

**MEMBERS' CODE OF CONDUCT –PARAGRAPH 11 (4)
PARAGRAPH 14 (3) (b) (ii)**

NOTIFICATION IN RESPECT OF:-

(1) PERSONAL INTEREST ORALLY DISCLOSED AT MEETING

[(2) DISPENSATION RELIED UPON AT MEETING]

1.	NAME OF MEMBER:	
-----------	------------------------	--

2. DATE AND DETAILS OF MEETING AT WHICH ORAL DISCLOSURE OF PERSONAL INTEREST MADE:

DATE:	
MEETING:	

3. AGENDA ITEM NUMBER AND BUSINESS TO WHICH THE PERSONAL INTEREST RELATES :

AGENDA ITEM:	
BUSINESS CONSIDERED:	

4. DETAILS OF PERSONAL INTEREST

(Insert ALL category number(s) referred to in the accompanying guidance notes that apply together with any Additional Detail): If this involves **SENSITIVE** information give details of the agreement of the Monitoring Officer allowing you to simply disclose the **EXISTENCE** of the interest

--

5. PREJUDICIAL INTEREST

Complete sections (a), (b), (c) and (d) in the box below by deleting those sections and words in square brackets as appropriate.

The personal interest detailed in Section 4 above:-

[(a) Is NOT a prejudicial interest because the business concerned relates to [another relevant authority of which I am also a member] [another public authority or body exercising functions of a public nature in which I hold a position of general control or management] [a body to which I have been elected, appointed or nominated by my Council] [my role as a non LEA School Governor and the business does not relate to my school] [my role as a member of the Local Health Board] AND the business does not relate to the determination of any approval, consent, licence, permission or registration]

[(b) Is NOT a prejudicial interest because (under the objective, public perception test in Paragraph 12 (1) of the Members' Code of Conduct) it WOULD NOT be regarded as so significant that it is likely to prejudice my judgement of the public interest].

[(c) Is NOT a prejudicial interest because the business relates to a grant, loan or other form of financial assistance to community or voluntary organisations up to £500].

[(d) IS ALSO A PREJUDICIAL INTEREST because (under the objective, public perception test in Paragraph 12 (1) of the Members' Code of Conduct) it WOULD BE regarded as so significant that it is likely to prejudice my judgement of the public interest].

6. IF YOU HAVE A PREJUDICIAL INTEREST IN RESPECT OF WHICH YOU HAVE THE BENEFIT OF A DISPENSATION GRANTED BY THE STANDARDS COMMITTEE/SUB-COMMITTEE YOU MUST ALSO COMPLETE THE BOX BELOW.

DATE OF MEETING OF THE STANDARDS COMMITTEE/SUB-COMMITTEE	
EXACT WORDING OF DISPENSATION [As an alternative you may simply attach the letter (or a copy) from the Standards Committee/Sub-Committee notifying you of the grant of dispensation]	

7. DATE AND SIGNATURE:

DATE:	
SIGNATURE:	

This written notification, fully completed, dated and signed must be given BEFORE or IMMEDIATELY AFTER the close of the meeting to the Clerk.

V:\WLEGAL\CLARENCE\STANDARDS\TOWN AND COMMUNITY COUNCILS – DECLARATION OF INTEREST (VERSION 2)

Appendix B



**Cyngor Tref Y Trallwng
Welshpool Town Council
Y Porth I Gymru | The Gateway to Wales**

PLANNING MINUTES

**Minutes of the Meeting of the Planning Committee held on
Wednesday 9th April 2025 at 6.30 p.m. in the Council Chamber,
Welshpool Town Hall.**

Present: Cllr Sally Fitzgerald - Chairman
Cllr Chris Davies
Cllr Bill Rowell

Also present: Cllr Phil Pritchard
Cllr Estelle Bleivas
Richard Williams - Town Clerk and Proper Officer
Kimberly Wright – Planning, Markets and Events Officer.
Four members of the public

P24/124. Chairmans welcome.

The Chairman welcomed Councillors and residents to the meeting.

P24/125. Apologies for absence.

RESOLVED – Members received apologies from the following members;

- Cllr Nick Howells
- Cllr Ben Gwalchmai

P24/126. Declarations of Interest.

- **RESOLVED** there were no declarations of interest made.

P24/119. Public Question Time and Participation.

RESOLVED - Four members of the public wished to discuss planning application 24/1745/FUL|Construction of slurry store and all associated works|Land To The East Of Pool Quay Pool Quay Welshpool Powys SY21 9JS

- Plans submitted for the slurry store still show the storage building in a position which was amended for its previous application 24/1638/AGR.

The following comments have already been received for the slurry pit.

‘Welsh Government Highways say ‘permission not granted owing to insufficient information regarding the conflicting positions shown for the storage shed; traffic flows; planning consent for the access. ‘

- The access to the storage building off the A483 through a hole made in the roadside hedge in recent years onto a track with no ‘visibility splay’.
- As it is so narrow, slow-moving tractors, towing trailers or tanks, have to cross to the opposite side of the trunk road to exit.
- The slurry store is at most 56m from the West bank of the River Severn on one of the most frequently flooded and waterlogged local fields.
- Flood water increasingly spreads onto the A483 from the access track. The 1,194.2 (0.3 acres) footprint of the slurry pit is likely to increase flood water.
- It is a huge structure, about 39m/128ft to eaves level and 11.35m/37ft high over three times the size of the refused storage building.
- It is in an isolated and prominent position, barely 25m from the trunk road; very close to high pressured gas pipeline running along the eastern edge of the A483.
- The capacity of the slurry pit at about 1.173m gallons, is estimated to be two or three times the maximum permitted to be spread on the 100+ acres proposed to receive it.
- There is also evidence of otters in close proximity to the proposed slurry pit.

P24/120. Minutes.

RESOLVED - Members confirmed the Planning Committee meeting minutes held on Wednesday 12th March 2025.

P24/121. Planning.

Members considered the planning applications below.

- **24/1422/FUL** | Construction of an offline pond, associated landscaping and enabling works | Land To The North Of Coppice Lane Coppice Lane Pool Quay Welshpool Powys SY21 9JX

RESOLVED - Members deferred this item until the next meeting. The Clerk to ask Powys County Council for the following information;

- Will there be an alternative access road whilst works take place?
- Will there be a hard standing surface for two/three visiting vehicles?

- **24/1745/FUL**| Construction of slurry store and all associated works| Land To The East Of Pool Quay Pool Quay Welshpool Powys SY21 9JS

RESOLVED Members refused this application and made the following comments:

- No guarantee there will not be leakages.
 - Too much planned on a small patch of land.
 - Wildlife conservation issues.
 - Road use/access unsafe and unsure where permission has been granted for such access.
-
- **24/1696/LBC**| Replace front elevation UPVC windows with traditional timber framed window| Llwynderw Villa Llwynderw Welshpool Powys SY21 8SE

RESOLVED - Members support this application with no comment.

P24/122. Planning decision notices.

Members noted the following planning decisions;

Approved.

- **24/1045/DIS**| Discharge of condition 5 of planning permission 23/1948/FUL in relation to Drainage Strategy| Former Gungrog School Site Gungrog Road Welshpool Powys SY21 7EJ
- **25/0103/DIS**| Discharge of the condition attached to 22/0188/NMA| Neuadd Maldwyn Severn Road Welshpool SY21 7AS
- **24/1604/LBC**| New signage proposal with external painting (Retrospective)| The Pheasant Inn 43 High Street Welshpool SY21 7JQ
- **24/1602/ADV**| 1 x illuminated/non-illuminated sign to the front of the property, one to the rear of the property ...| The Pheasant Inn 43 High Street Welshpool SY21 7JQ
- **24/1570/DIS**| Discharge of conditions 3, 4, 5, 6 and 7 of planning approval 24/0585/FUL in relation to the submission of a Gigabit Capable Broadband Infrastructure Scheme, Hedgerow Translocation Method Statement, Tree Planting Scheme, External Lighting Design Scheme and Passing Bay/Localised Widening Plan| Land At Valley View Groes-pluen Welshpool Powys SY21 9BW

- **24/1497/FUL** | Change of use of unit to Class B8 (Storage or Distribution) together with associated external alterations | Unit 19 Severn Farm Industrial Estate Welshpool Powys SY21 7DF

Refused.

- **24/1638/AGR** | Erection of storage building and all associated works | Land To The East Of Pool Quay Opposite Little Bank House Pool Quay Welshpool Powys SY21 9JS

Withdrawn.

- **25/0083/ADV** | Display of non-illuminated and illuminated signage | Land At Lime Kiln Cottage Buttington Welshpool Powys SY21 9JP

P21/123. Date and time of next meeting.

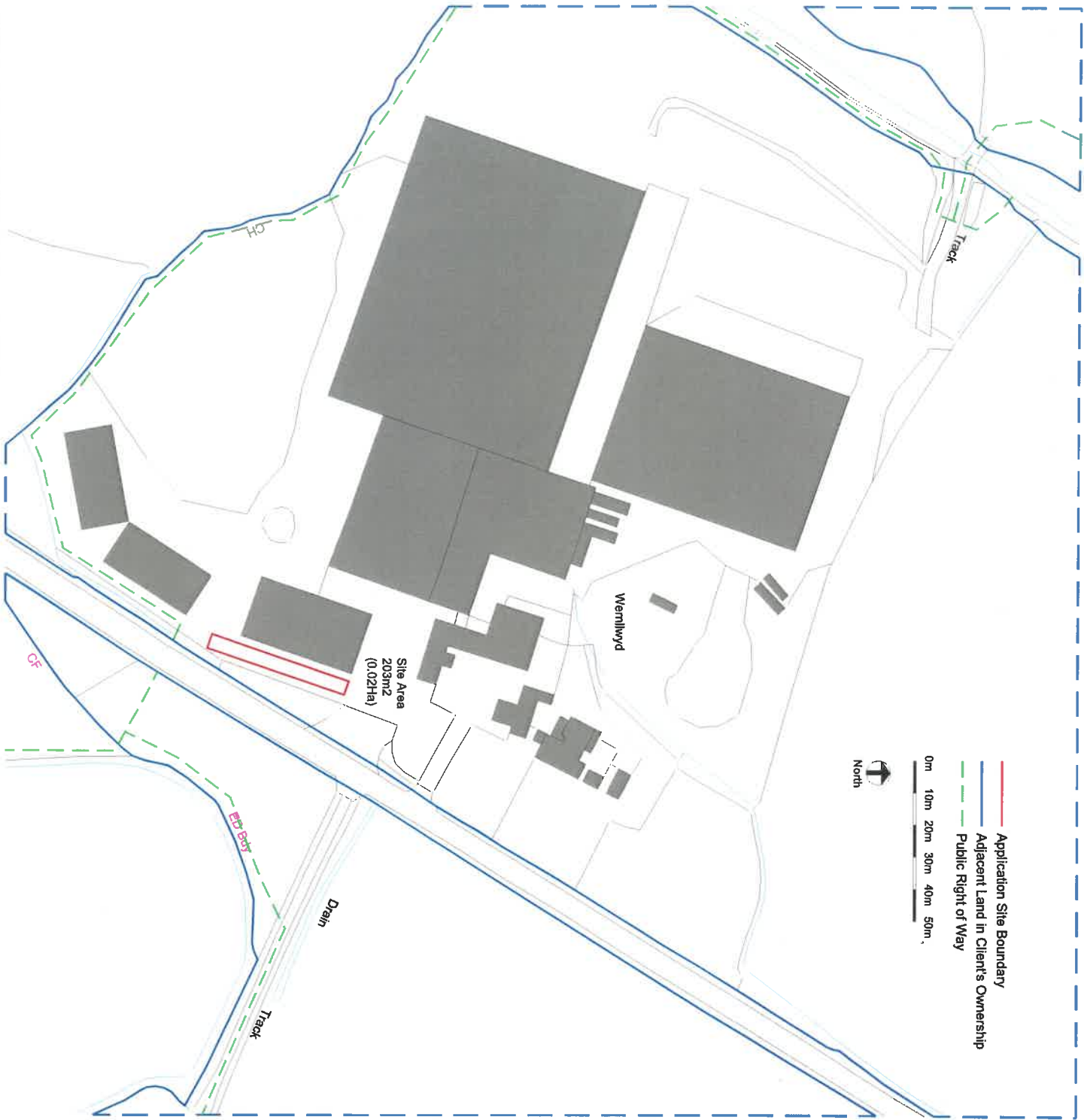
Members noted that the date of the next Planning Committee meeting will be held on **Wednesday 14th May 2025 at 6:30 pm** in the Council Chamber, Welshpool Town Hall.

Signed (Chairman)

Date

Appendix C

25/0575/FUL



THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. ALL DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE BEFORE ANY WORK OR PRODUCTION STARTS. THE DRAWING IS THE PROPERTY OF ROGER PARRY & PARTNERS. ANY DISCREPANCY IN THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF ROGER PARRY & PARTNERS.

Rev	Description	Date	By



Residential - Agricultural - Commercial

Project	Proposed Café Housing Building		
Drawing Title	Location Plan		
Location	Wentlwyd, Bron y Budden, Bala, Powys, SY21 8AA		
Client	Fraser Jones		
Scale	1:1250 @ A3		
Drawing No	80215 / GH / 001	Rev	-
Drawn By	NB	Date	2025/02/26

MERCAN HOUSE, 9 DARWIN COURT, OXON
BUSINESS PARK, SHREWSBURY, SY3 5HJ

01743 797038
Email: info@rogerparry.co.uk
Web: www.rogerparry.co.uk

Registered in England and Wales.
Registered Office: 11, The Square, Shrewsbury, Shropshire, SY3 6LH



THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. ALL DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR PRODUCING SHOP DRAWINGS. THE DRAWING IS THE PROPERTY OF ROGER PARRY & PARTNERS. ANY DISCREPANCY, THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY ROGER PARRY & PARTNERS.

Rev	Description	Date	By



Residential - Agricultural - Commercial

Project	Proposed Calf Housing Building		
Drawing Title	Existing Block Plan		
Location	Wernilwyd, Bwthyn Buckley, Deean, Powys, SY21 8AA		
Client	Fraser Jones		
Scale	1:500 @ A3		
Drawing No	80215 / GH / 002	Rev	-
Drawn By	NB	Date	2025/02/26

MERCIAN HOUSE, 9 DARWIN COURT, OXON
BUSINESS PARK, SHREWSBURY, SY3 5HU

Web address: www.rogerparry.co.uk
Email: info@rogerparry.co.uk
Tel: 01743 291336
Registered in England and Wales
Registered Office: 10, The Quadrant, Shrewsbury, Shropshire, SY3 6JF
VAT No: 264 549 874

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS. ALL DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR PRODUCING SHOP DRAWINGS. THE DRAWING IS THE PROPERTY OF ROGER PARRY & PARTNERS. ANY DISCREPANCY THIS DRAWING IS OF FORTH AND REMAINS THE PROPERTY ROGER PARRY & PARTNERS.

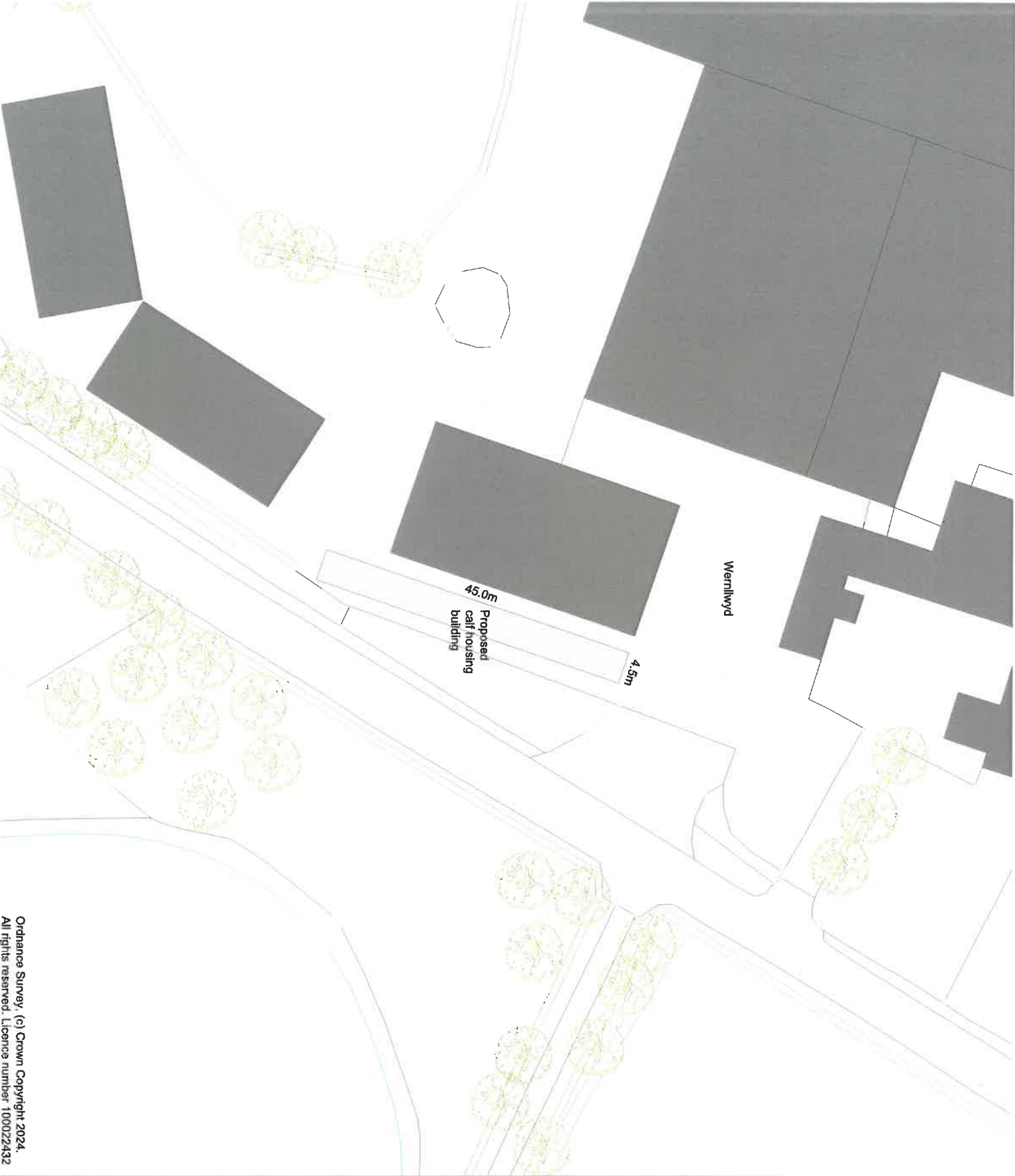
Rev	Description	Date	By



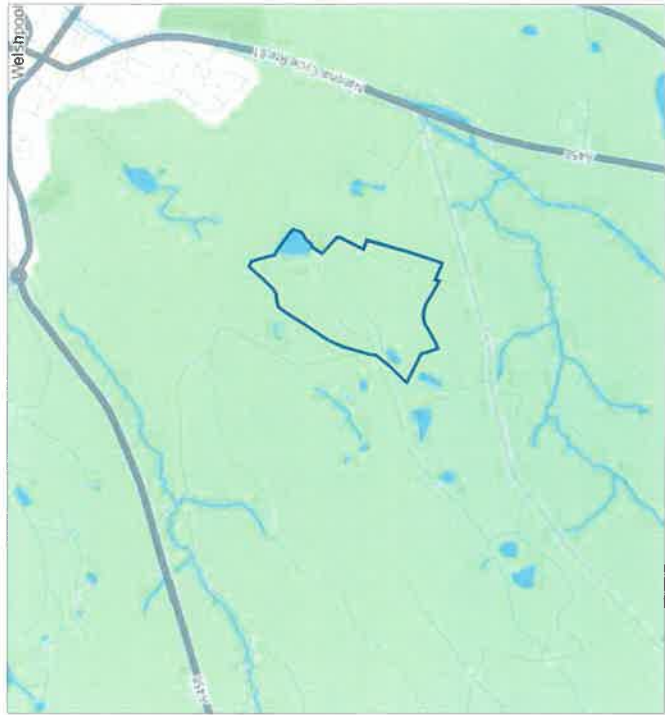
Residential - Agricultural - Commercial

Project	Proposed Calf Housing Building		
Drawing Title	Proposed Block Plan		
Location	Wentilwyd, From y Buckley, Blean, Pwys, ST21 8AA		
Client	Fraser Jones		
Scale	1:500 @ A3		
Drawing No	80215 / GH / 003	Rev	-
Drawn By	NB	Date	2025/02/26

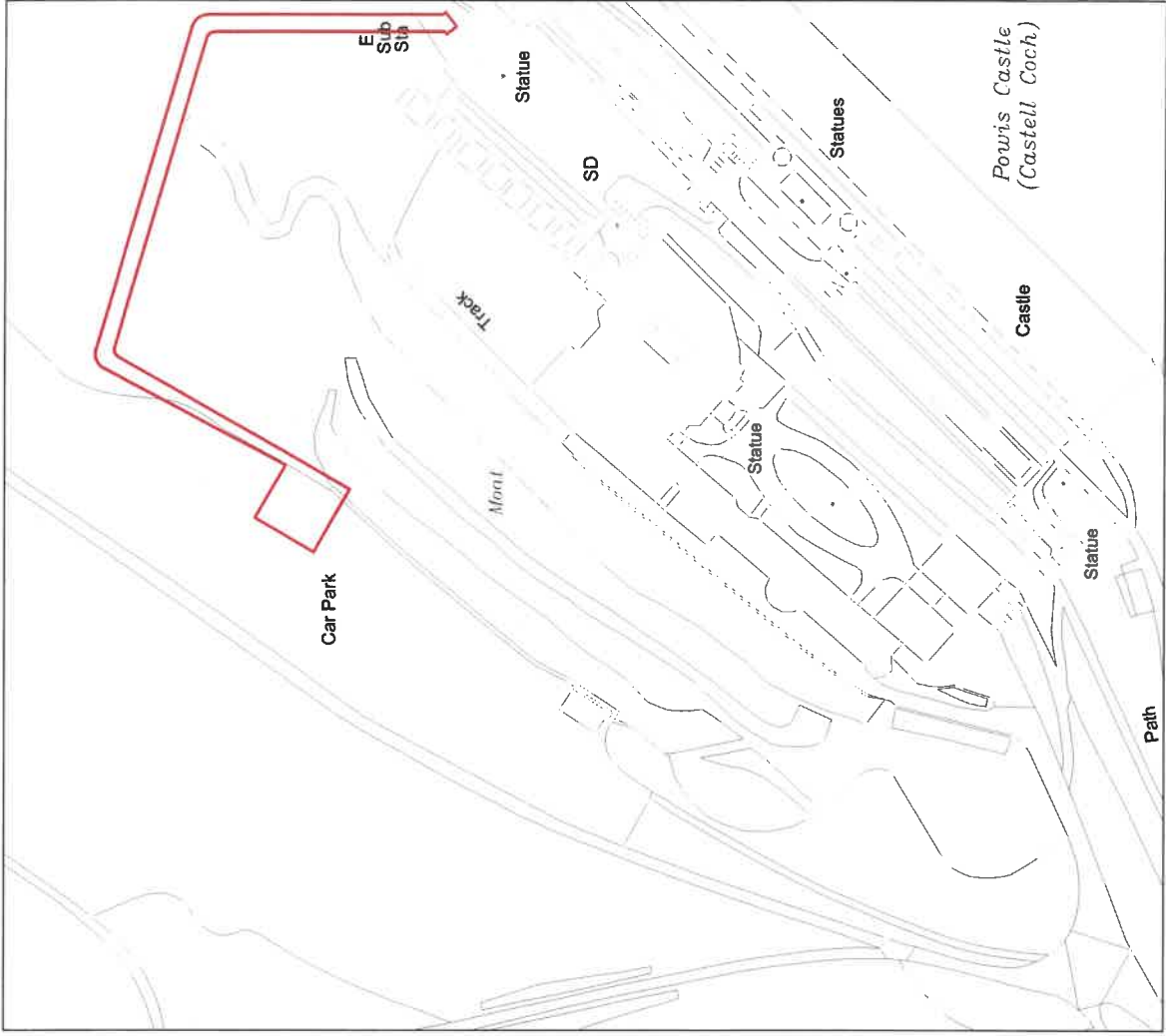
MERCIAN HOUSE, 9 DARWIN COURT, OXON
BUSINESS PARK, SHREWSBURY, SY3 5HU
Tel: 01743 791336
Email: niall@rogerparry.net
Web address: www.rogerparry.net
Registered - Chartered and Accredited
Registered - Chartered and Accredited
A full member of the Institution of Professional Surveyors



Appendix D



NOT TO SCALE

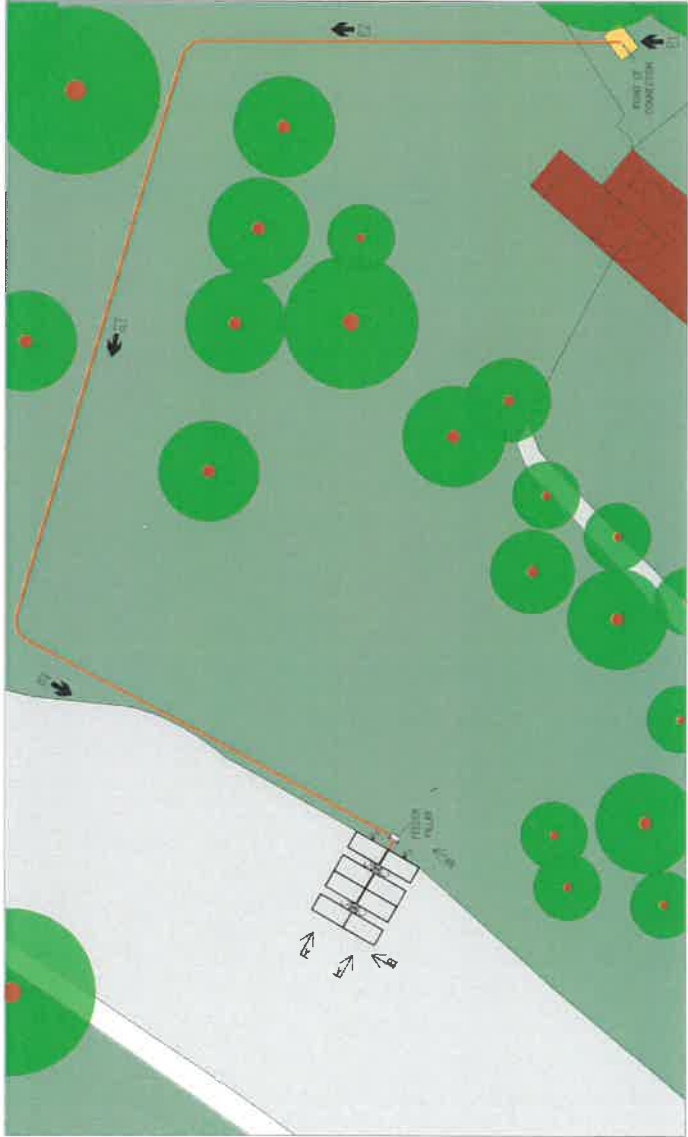


REV	DESCRIPTION	REV BY	APP	DATE
	ADDRESS POWIS CASTLE, WELSHPOOL, SY21 8RF	PROJECT NAME A222134 NATIONAL TRUST POWIS CASTLE	DRAWN BY KP	
		DRAWING TITLE SITE LOCATION PLAN	SCALE (@ A3) 1 TO 1250	
		DRAWING NO A222134 078 01	REV -	
			RAW CHARGING NETWORK LTD BOWCLIFFE HALL BRAMHAM WETHERBY LS23 6LP	

25/0575/FUL



EXISTING



PROPOSED



PHOTO P1
POINT OF CONNECTION



PHOTO P2:
CABLE ROUTE FROM POC



PHOTO P3:
CABLE ROUTE TO EVCB



PHOTO P4
VIEW OF EVCB AREA

EXCAVATION METHODOLOGY IN AREAS ADJACENT TO OR OVERLAPPING WITH EXISTING UTILITIES SHALL BE DETERMINED BY THE DESIGNER. THE DESIGNER SHALL PROVIDE A DETAILED EXCAVATION METHODOLOGY STATEMENT, INCLUDING PLANNING, INSTALLATION AND MAINTENANCE OF UTILITY APPARATUS, IN PRESENT, TO THE CLIENT, (VOLUME 4) AS FOLLOWS:

ALL EXCAVATIONS REQUIRED TO BE UNDERTAKEN IN AREAS ADJACENT TO OR OVERLAPPING WITH EXISTING UTILITIES SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES. EXCAVATIONS SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES. EXCAVATIONS SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES.

ALL EXCAVATIONS REQUIRED TO BE UNDERTAKEN IN AREAS ADJACENT TO OR OVERLAPPING WITH EXISTING UTILITIES SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES. EXCAVATIONS SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES. EXCAVATIONS SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES.

WHERE EXCAVATION IS REQUIRED, ANY NEIGHBOURHOOD WRAPPING SHALL BE REMOVED AND THE EXCAVATION SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES. EXCAVATIONS SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES. EXCAVATIONS SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES.

WHERE EXCAVATION IS REQUIRED, ANY NEIGHBOURHOOD WRAPPING SHALL BE REMOVED AND THE EXCAVATION SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES. EXCAVATIONS SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES. EXCAVATIONS SHALL BE UNDERTAKEN IN A MANNER THAT DOES NOT CAUSE DAMAGE TO THE EXISTING UTILITIES.

ALL CABLEING TO BE UNDERGROUND OR INTERNAL



PROPOSED ELEVATION A-A
(SCALE 1:100)



PROPOSED ELEVATION B-B
(SCALE 1:100)

KEY

- GRASS
- ASPHALT
- LIVE GROUND
- CONCRETE
- JOB STATION
- CONCRETE
- BUILDING
- TREE
- EXISTING CHANTRY AND EXCAVATION
- UNDERGROUND CABLE DUCT
- PHOTO LOCATION

NEW SCALE PROPOSED

WINDMILL AREA

FEEDER PILLAR

JOB STATION

CONCRETE

BUILDING

TREE

EXISTING CHANTRY AND EXCAVATION

UNDERGROUND CABLE DUCT

PHOTO LOCATION

NEW SCALE PROPOSED

WINDMILL AREA

FEEDER PILLAR

JOB STATION

CONCRETE

BUILDING

TREE

EXISTING CHANTRY AND EXCAVATION

UNDERGROUND CABLE DUCT

PHOTO LOCATION

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

1:500 SCALE BAR

1:100 SCALE BAR

Access Statement

The proposed development utilises the existing access therefore an appropriate, safe, accessible, convenient, access is provided for all mode trips arising to and from the proposal. The proposal will not generate any additional traffic and therefore will not create or exacerbate traffic congestion or have an unacceptable effect on highway and road safety.

The proposed development provides electric vehicle charging infrastructure within the existing visitor car park on site which will assist Powys County Council in their drive to tackle climate change, reduce carbon emissions and supports the Councils shift towards the development of ultra-low carbon / electric vehicles in the provision of essential electric charging infrastructure.

Appendix E

A detailed site plan of the 'Kiln' building complex. The main building is a large, rectangular structure with a central courtyard. To its right is a smaller, rectangular building. The plan includes a north arrow pointing towards the top right, a scale bar indicating 0, 20, 40, and 60 meters, and various landscape features such as trees and a road. The plan is marked with numerous small crosses and dots, likely representing specific points of interest or survey data.

This architectural drawing shows the front elevation of a building. The structure features a gabled roof with a chimney on the right side. The facade includes a large multi-paned window on the left, a smaller window in the center, and a door on the right. The building is surrounded by a fence, and there is a small garden area in front.

[illegible][illegible]

Disclosures: subject to state adjustment to bring back block grants, California is the only state that has not opted to convert to the new federal funding formula.

Reference number

23/0628/REM for Full Planning Permission

Original Full Planning Approval was 22/1790/HH Date of Approval 01.02.2023

Date of decision (date must be pre-application submission)

26/07/2023

Please state the condition number(s) to which this application relates

Condition number(s)

Condition 2 - The development shall be carried out strictly in accordance with the drawing approved on the date of this consent PNWL-GRA-00-XX-D-A-201

Has the development already started?

- ☒ Yes
- ☐ No

If Yes, please state when the development was started (date must be pre-application submission)

08/07/2024

Has the development been completed?

- ☐ Yes
- ☒ No

Condition(s) - Removal

Please state why you wish the condition(s) to be removed or changed

The Applicant wishes to amend the approved design proposals, layout, roof covering material finish, window locations and dormer details to the garage wing, the detailed design and profile of the garden room, to reflect the detailed design proposals, the introduction of a first floor bay window to the NE elevation and configuration/details of the entrance and ground floor bay to the SW elevation including wrought and cast iron details.

The footprint of the previously approved design proposals remains unchanged.

If you wish the existing condition to be changed, please state how you wish the condition to be varied

The condition is only to be changed to reflect the updated and revised design proposals i.e. proposed drawings

Site Visit

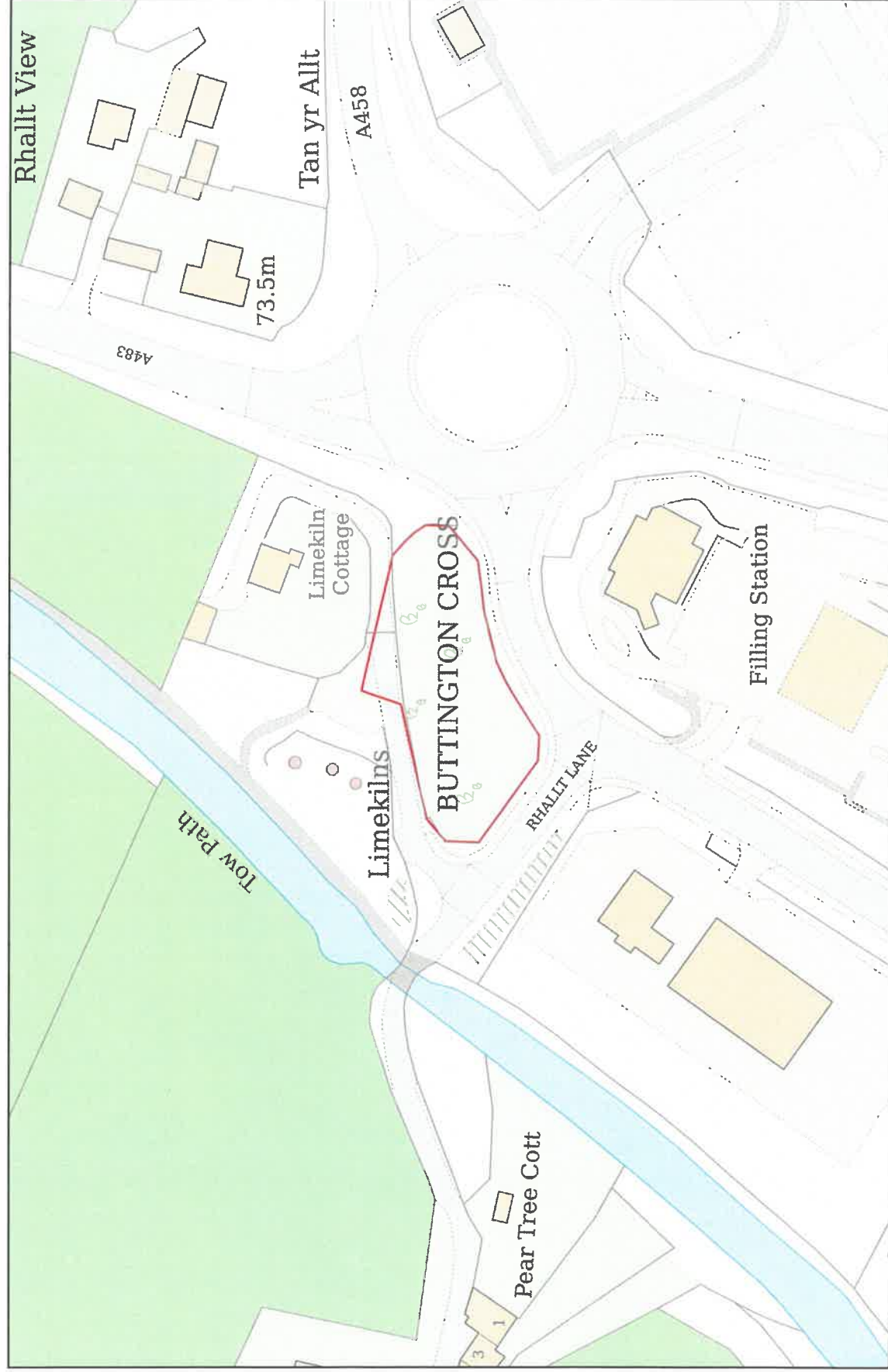
Can the site be seen from a public road, public footpath, bridleway or other public land?

- ☒ Yes
- ☐ No

Appendix F

Date Produced: 25-Apr-2025

Scale: 1:1250 @A4



Planning Portal Reference: PP-13971609v1



proposed site signage plan
scale - 1:200 @ A1 / 1:400 @ A3

KFC PROPOSED EXTERNAL SIGNAGE SCHEDULE

sign no.	signage image (ref)	description
1.		10m high illuminated illuminated sign 200mm diameter steel post generated and powder coated KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
2.		5.2m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
3.		1.5m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
4.		1.5m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
5, 6, 7.		1.5m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
8.		1.5m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
9, 10.		1.5m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
11.		1.5m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
12, 13.		1.5m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.
14.		1.5m wide, 1.2m high illuminated illuminated sign constructed from 100x100mm mild steel plate, galvanneal and powder coated steel. 3000 beam glass fully with KFC illuminated sign. Sign to be illuminated through and bonded to the post with a cable tie. Sign to be illuminated using LED's.

© copyright 2024

The drawing and the copyright and patent therein are reproduced - only under contract. All rights reserved.

ALL DIMENSIONS TO BE CHECKED ON SITE.

DO NOT SCALE FROM THIS DRAWING EXCEPT FOR THE PURPOSES OF LOCAL AUTHORITY PLANNING

A. 24/03/25

reproduced site sign every two highway

[insert 15m from road/road] following

feedback from highway

rev

date

description

Frank Belsaw AB

Building Managers Limited

Gastronomy

Foods (UK) Ltd

NON-STANDARD DT

store address

WELSHPOOL

UNIT 1

MOORS FARM

LAND OFF HALT LANE

WELSHPOOL

client

GASTRONOMY FOODS (UK) LTD

drawing title

PROPOSED

SITE SIGNAGE PLAN

drawn by

checked

date

15/11/24

SES

store no.

scale

0000

1:200 @ A1

KFC drawing no.

SA ref.

revision

0000/2024/P122

2024/112

A

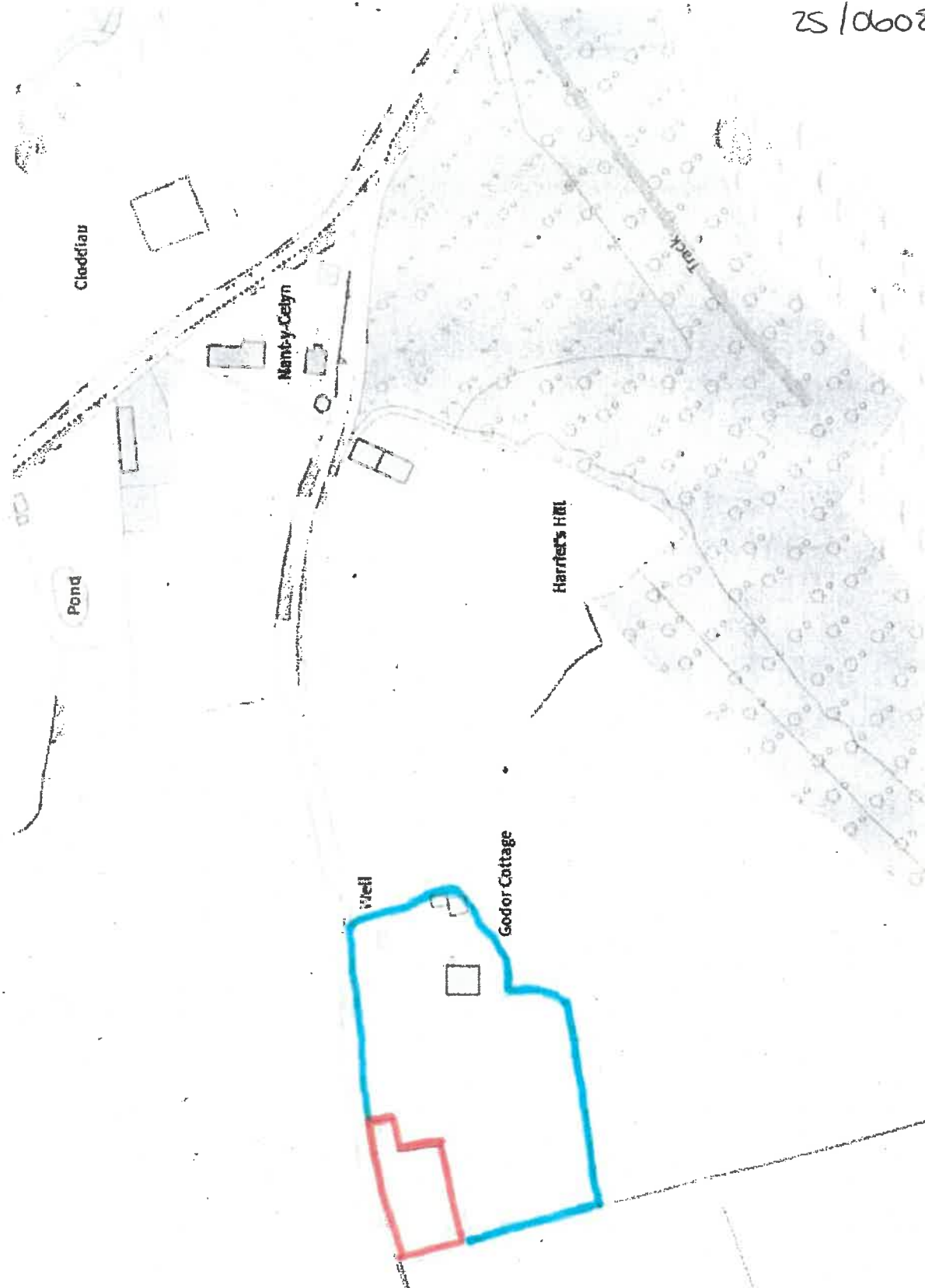
drawing no.	FB ref.	revision
0000/2024/P211	2024/112	B

A vertical number line starting at 0m at the bottom and ending at 20m at the top. Major tick marks are labeled every 2m: 0m, 2m, 4m, 6m, 8m, 10m, 12m, 14m, 16m, 18m, and 20m. Minor tick marks are present every 1m between the major labels.

Appendix G

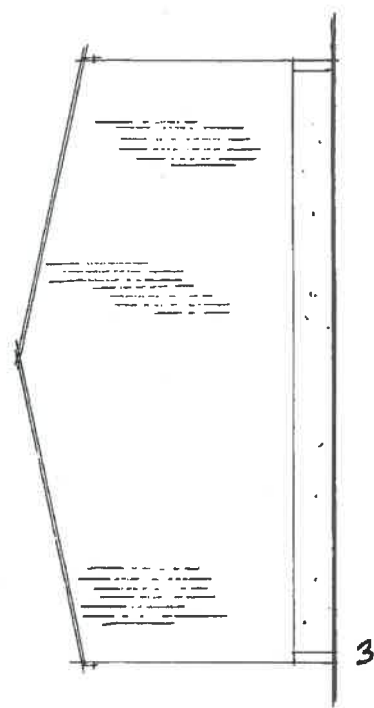
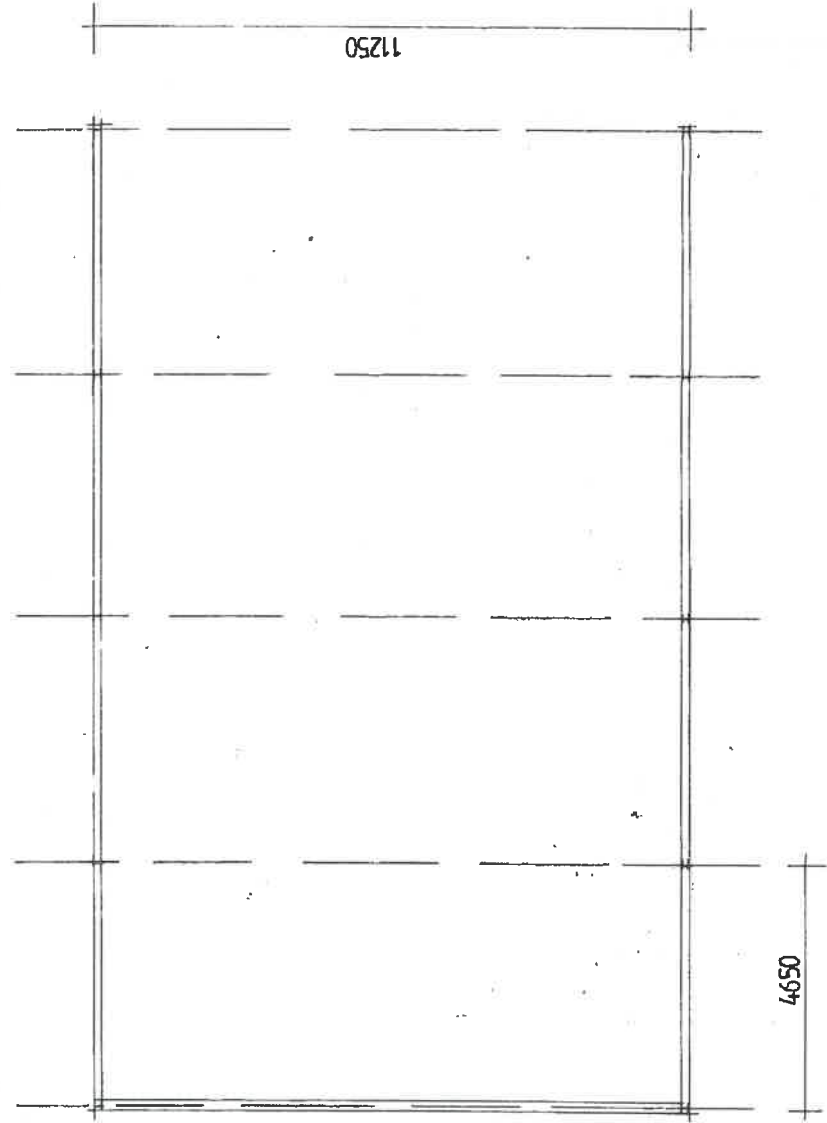
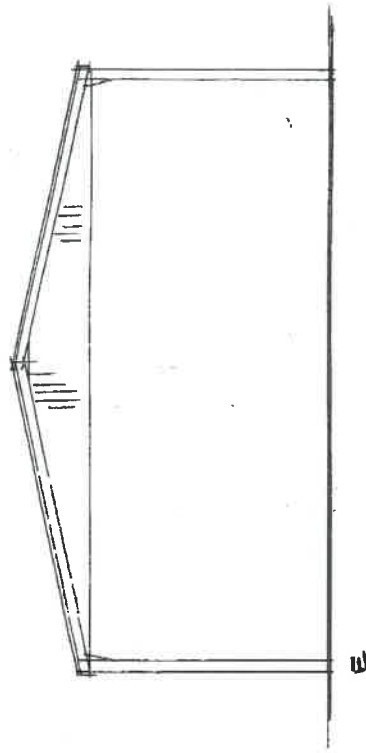
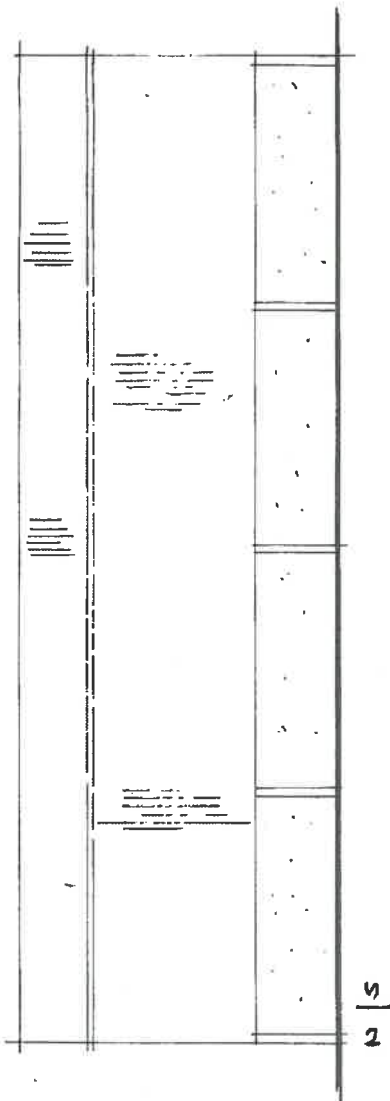
25/0608/FUL

1.7



40m

1:1250



Facing Materials

Walls – Box profile steel, Juniper Green. Shuttered concrete at lower level
 Roof – Box profile steel, Juniper Green

Bio diversity enhancement

Provide 1 No *Woodcrete* open fronted nest box.

Box to be installed on west end wall, at minimum height of 3m.

Proposed Floor Plan & Elevations

New Shed, Godor Cottage, Cloddiau

Scale 1:100 @ A3 Apr 2025 Plan No 5555.01

Do not scale from prints. Measured dimensions take precedence. The contractor is to check all dimensions before work commences and notify the contract administrator of any error or discrepancy.
 * Ty Ffeir, Abernaki, Montgomery SY15 6JW * kz22@humphreys.co.uk * 07971 22953

Gwynfor Humphreys & Co: Chartered Building Surveyor

Well

Godor Cottage

Proposed Site Plan

New Shed, Godor Cottage, Cloddiau

Scale 1:500 @ A3 Apr 2025 Plan No 5555.02

Do not scale from prints. Figured dimensions take precedence. The contractor is to check all dimensions before work commences and notify the contract administrator of any error or discrepancy.
* Ty Fawr, Abermale, Moulgumery SY15 6JW * kevin@humbreys.co.uk * 07971 224953

Gwynfor Humbreys & Co: Chartered Building Surveyor

1 ✓

Appendix H

Approved

23/1885/DIS| Application to discharge conditions 6 and 8 attached to permission 19/0494/OUT in respect of Landscape Ecological Management Plan and Landscaping Plan| Land At Tanyrallt View And Rhallt View Buttington Welshpool Powys SY21 8SR

23/1879/ADV| Advertisement consent for fascia logo signs including illuminated elements, non illuminated free standing drive thru and drive safely signs, totem pole drive thru post and other ancillary advertisement signs. | Rhallt View Buttington Welshpool SY21 8SR

25/0520/DIS| To discharge condition 9 of planning approval 22/1137/FUL (25/0191/NMA)| Land At Lime Kiln Cottage Buttington Cross Welshpool Powys SY21 9JP

Refused

24/1745/FUL| Construction of slurry store and all associated works| Land To The East Of Pool Quay Pool Quay Welshpool Powys SY21 9JS

Withdrawn

25/0594/LBC| To install x 4 EV charging stations and associated works which include underground cabling| Powis Castle Estate Red Lane Powis Castle Welshpool SY21 8RF

Appendix I



Date: 28th April 2025

Our Ref: SNN2/2025/0017

Dear Sir/Madam,

PUBLIC HEALTH ACT 1925 – STREET NAMING & NUMBERING

Description of Work: Registration of development name, Unit numbers and business names

Site Address: Unit 1 & 2 Development Land Adjacent To Moors Farm, Rhallt Lane,
Buttington, Welshpool, Powys

We have received a request from the developer of the above site to name the development;

Parc Hamdden Lime Kiln

Lime Kiln Leisure Park

I would be grateful if you could put forward, this proposal to your Town/Community Council for consideration at your next meeting, so that formal procedures as required by the above legislation can be undertaken as soon as possible.

Please visit our website (link below) to view our Street Naming & Numbering Guidance.

http://pstatic.powys.gov.uk/fileadmin/Docs/Building_Control/Powys_Street_Naming_Numbering_Guidance_Notes_2016_en.pdf

It is important we provide an efficient process to the developers in order for connections such as BT and the Utility Companies to connect each property. Once the process has been approved the Emergency Services are informed of the new addresses. If no response has been received within 6 weeks of this dated letter we intend to approve the proposed street name.

If you have any further queries, please do not hesitate to contact me on the number below.

Yours faithfully,

Karly Owen

Karly Owen

Technical Support Officer

Powys Street Naming & Numbering, Neuadd Brycheiniog, Cambrian Way, Brecon, LD3 7HR

General Enquiries: 01874 612290 Email: buildingcontrol@powys.gov.uk



FS575521